



Commercial Building Permit Application Packet Complete A-F as follows:

- A. Schedule a Pre-Submittal meeting with the Commercial Plans Examiner and Planner-in-Charge. Prepare the following items B-F to submit for review at the meeting:
- B. Fill out, complete and sign the Commercial Building Permit Application form.
- C. Provide the Site/Plot Plan prepared as per pages 1-4.
- D. Fill out, complete and sign the Commercial Permit Application Check List form pages 1-2.
- E. List the appropriate response to each pertinent Section item contained in the Code Summary pages 1-6.
- F. If pertinent, fill out and complete the Special Inspection and Testing Agreement form with four signatures as required.

Thank you,

Todd Cunningham
Building Services Manager / Building Official
Office Phone: (503) 397-7213
Fax number: (503) 366-3902
E-mail: todd.cunningham@co.columbia.or.us

EXHIBIT "B"

COMMERCIAL BUILDING PERMIT APPLICATION

Columbia County Land Development Services, Courthouse, St. Helens, Oregon 97051
 Phone (503) 397-1501, Fax (503) 366-3902, Inspection line (503) 397-7265

PERMIT #

ISSUE DATE:

APPLICATION

PROJECT ADDRESS	CITY	LOT SIZE
MAP NUMBER	CONTACT FAX #:	

NAME	MAILING ADDRESS	CONTACT PHONE #	E-mail Address	Oregon CCB#
OWNER:				
CONTRACTOR:				
PLUMBING CONTRACTOR:				
MECHANICAL CONTRACTOR:				
OTHER:				

DESCRIBE PROPOSED PROJECT:

Size of Building	Use of Building	Total Square Feet	Type of Construction	Occupancy Group	Valuation of Work
					\$

SPECIAL CONDITIONS AND COMMENTS:

Planning Approval

Sub-Surface Sewage Approval

Zoning: _____ Required Setbacks: Front _____ Side _____
 Side _____ Rear _____
 Comments: _____
 Sign: _____ Date: _____

Septic Permit # _____
 Sign: _____
 Date: _____

Building Approval

Sign: _____
 Date: _____

Road Access Permit #
 Deposit paid? Yes No

NOTICE

THIS PERMIT BECOMES NULL AND VOID IF WORK OR CONSTRUCTION AUTHORIZED IS NOT COMMENCED WITHIN 180 DAYS, OR IF CONSTRUCTION OR WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AT ANY TIME AFTER WORK IS COMMENCED.

This permit is granted on the express condition that the said construction will, in all respects, conform to the Ordinances of this jurisdiction, including the Zoning Ordinance, regulating the construction and use of buildings, and may be revoked at any time upon violation of any provision of said Ordinances. It is further certified that the contractor is registered with the Builder's Board and is in full force and effect as required by ORS 701.055, that if exempt, the basis for exemption is noted hereon, and that only subcontractors and employees who are in compliance with ORS 701.055 will be used on this project. The granting of a permit does not presume to give authority to violate or cancel the provisions of any other state or local law regulating construction or the performance of construction. I hereby certify that I have read and examined this application and know the same to be true and correct. All provisions of laws and ordinances governing this work will be complied with whether specified herein or not. By signing this, I agree to expressly and unequivocally call for and consent to any and all inspections deemed necessary by the Building Official and the Subsurface Sewage Sanitarians.

 Signature of Contractor or Authorized Agent Date

 Signature of Owner Date

PERMIT FEES

Planning Release Fee	\$	
Plans Checking \$		
Construction		
Plumbing Plan Review		
Plumbing		
Mechanical Plan Review		
Mechanical		
Fire & Life Safety Review		
12% State Surcharge		
SUBTOTAL	\$	
Transportation System SDC		
5% SDC Administration		
BALANCE DUE	\$	

Receipt# _____ Check# _____ / Receipt# _____ Check# _____

CASH VISA M/C * * * * CASH VISA M/C

EXHIBIT "C"

PLOT PLAN - ELEVATIONS

Reason for Requirement

Many plans are designed without knowledge of site conditions. When these designs are constructed in the field, issues commonly arise that affect the structural stability of the building. These issues could include: site stability, drainage, lateral support, slopes, foundation design, ADA accessibility, driveway design and more.

Elevations on Plot Plans

Elevations are points that are above or below a fixed known elevation point. That fixed point could be surveyed elevation above known sea level, as in the case of properties located in flood areas, or it could be an arbitrary point of elevation on which all other site elevations are derived from. The important factor is the relative elevation up or down from other points on the same site. Elevation points are required for all corners of the building and any accessory buildings, the corners of the property and at distances of 50' from the buildings. If the plot plan has contour lines on it, then only corner building elevations are required. In addition, elevation at street or road level and point that of driveway access.

See attached example.

EXAMPLE TOPOGRAPHY

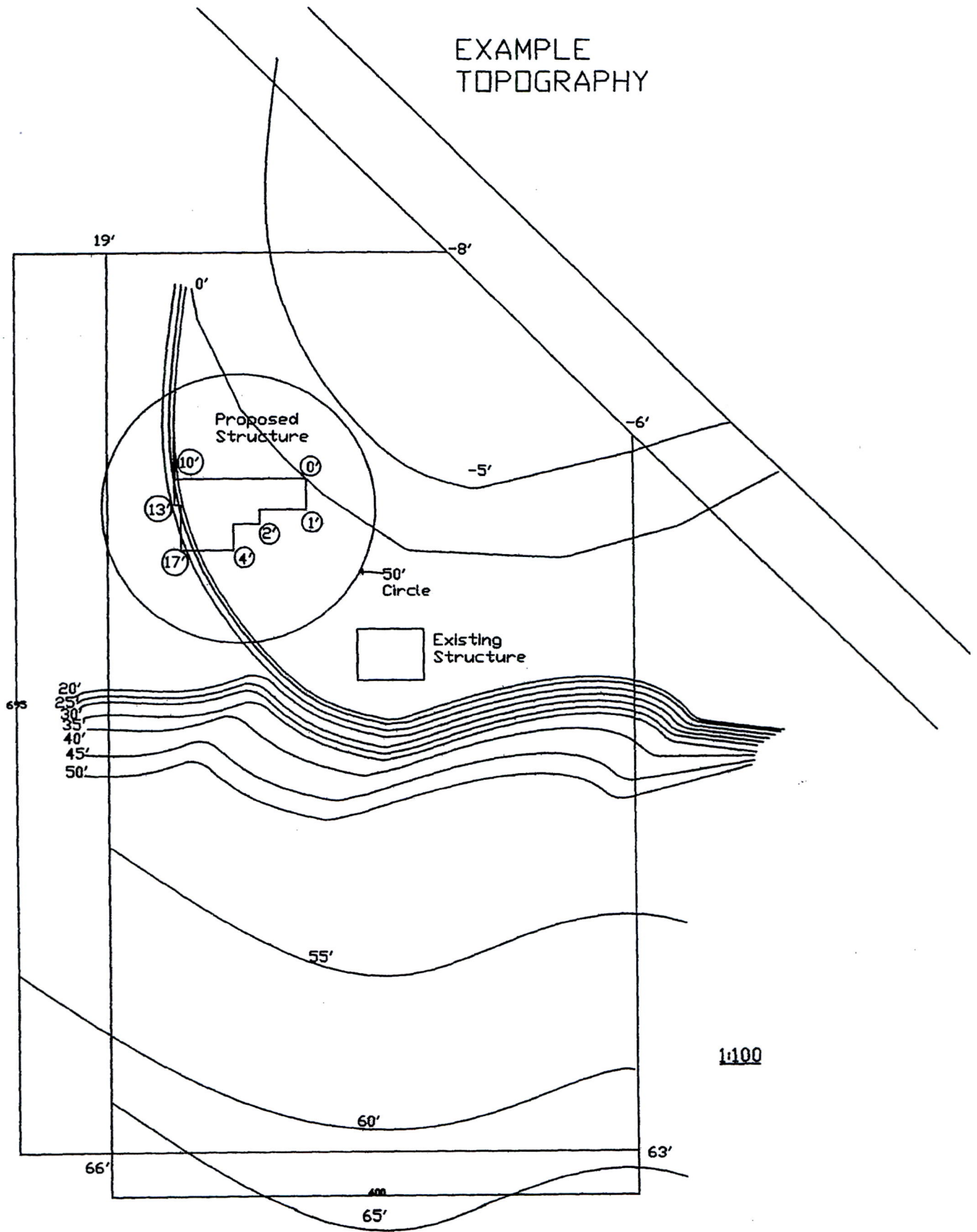


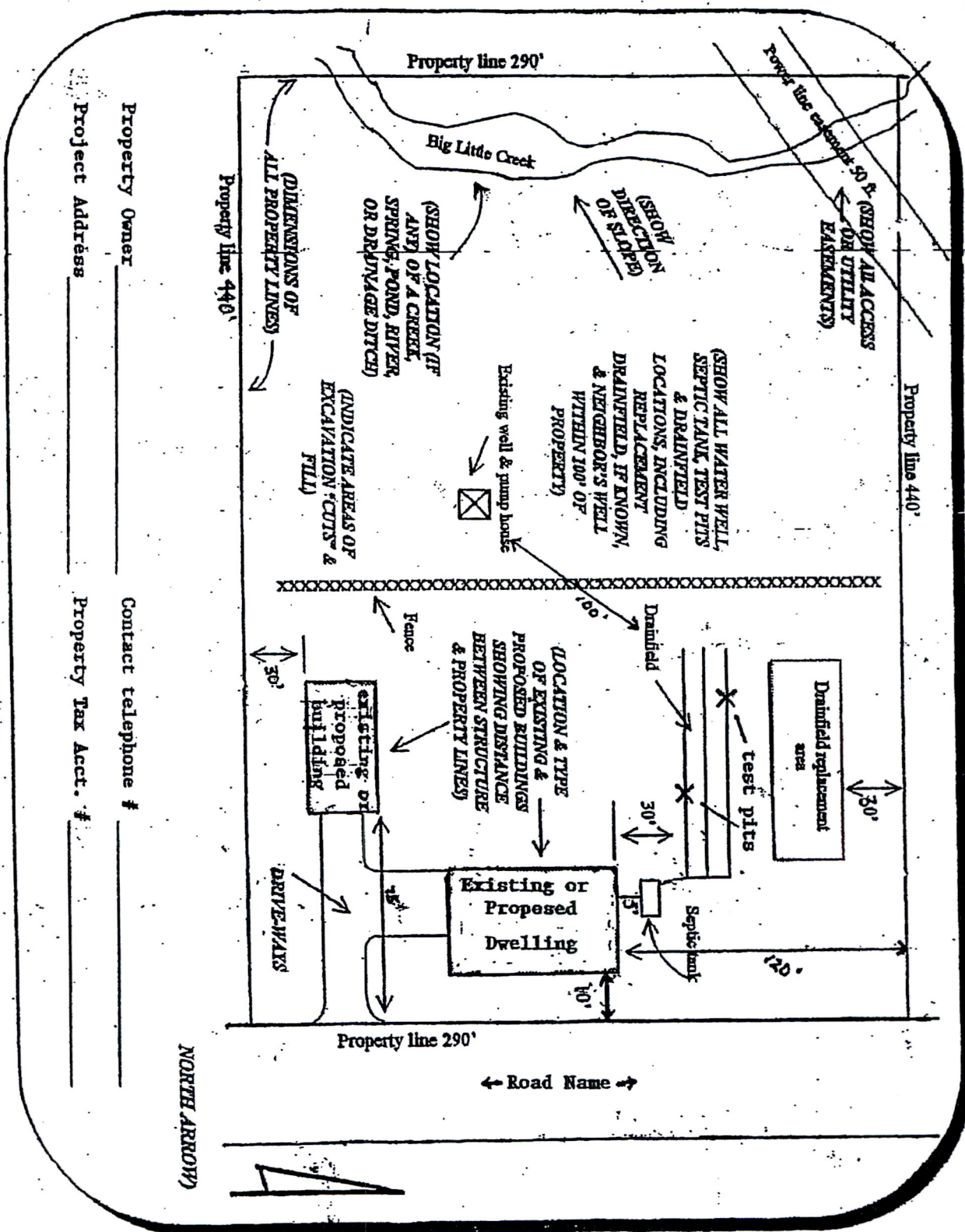
EXHIBIT "C"

Plot Plan

The plot plan should include the following information:

Accurate to scale - larger parcels use an inset of used areas.

- Size to be **no larger than 11" x 17"**
- Property dimensions
- North arrow
- Easements
- All existing and proposed structures
- Direction and percentage of slope
- Driveway length and % slope or grade
- Topography
- Corner elevations of proposed structures circled ○
- Water source
- Setbacks
- Septic system location, including tank and repair area
- Fire hydrants
- Public right-of-way frontage
- Natural features
- Fire buffer zones
- Drainage plan
- Water features
- Sign location
- Parking
- Other _____

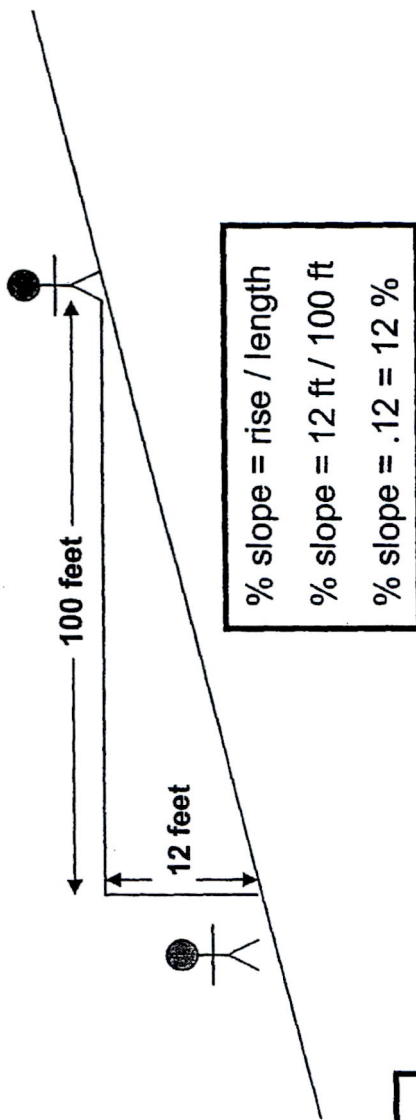


Property Owner _____
 Project Address _____

Contact telephone # _____
 Property Tax Acct. # _____

SAMPLE PLOT PLAN

How to measure % slope



Equipment needed to determine % slope.

- String
- Bubble level (to insure string is level)
- Tape measure to measure rise

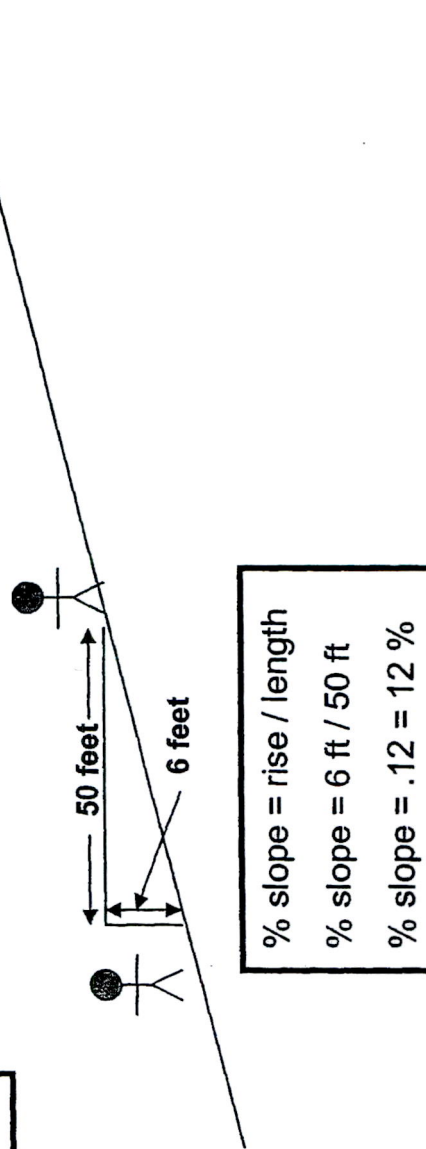


EXHIBIT "D"

**COLUMBIA COUNTY LAND DEVELOPMENT SERVICES
Building Department
Commercial Permit Application Check List**

Date: _____

Project Name: _____

Project Address: _____

Project Phone #: _____ Property Map #: _____

Architect: _____

Phone #: _____ E-mail Address: _____

Engineer: _____

Phone #: _____ E-mail Address: _____

Engineer of Record: _____

Phone #: _____ E-mail Address: _____

Applicant Name: _____

Applicant Address: _____

Applicant Phone #: _____ E-mail Address: _____

Check List: Complete the following Check List for each required item listed below pertaining to the structure identified on the permit application. Submit the Check List to the Plans Examiner at the "Pre-Submittal" meeting. The Plans Examiner shall sign off this Check List form prior to taking in the application when completed. Unless otherwise indicated by the Plans Examiner at the "Pre-Submittal" meeting, all applicable items listed below shall be available for review at the "Pre-Submittal" meeting.

Required:

Complete Incomplete N/A Deferred

- | | | | | |
|--|--------------------------|--------------------------|--------------------------|--------------------------|
| 1. Permit application | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 2. Site/plot plan signed off by Planner in Charge | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 3. Site plan review by County Sanitarian | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 4. Code Summary | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 5. Special Inspection and Testing Agreement form | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 6. State Permits and Approvals | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 7. Geo Tech Soils report and/or design | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 8. The local Fire Marshal has been notified of this project. | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 9. Three/four sets of scaled construction drawings to include: | | | | |
| -Site plan to include building locations, corner elevations,
& topography | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| -Site Utilities | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| -Storm Water/Erosion Control Plan | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| -Grading plans | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |

	Complete	Incomplete	N/A	Deferred
-Foundation plan	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
-Floor Plan	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
-Roof framing plan	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
-Architectural elevations	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
-Cross-sections	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
-Structural notes and details	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
-Plumbing plans (three sets)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
-Mechanical plans	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
-Electrical plan	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
10. Two sets of truss engineering	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
11. Two Calculation booklets page numbered consecutively (one copy with wet stamp)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

ACKNOWLEDGMENT: I understand that all of the above information must be submitted unless an item has been found by the Building Division not to be applicable. Required information not submitted or information which does not comply with applicable County codes could result in delays in plan approval due to the need for revisions and resubmittal of the plans. Plan check will not begin until the Building Division determines all of the above items have been provided. You will be notified of any submittal deficiency.

The following is provided for the Applicant's information regarding the Plan Review Process:

Check Sheet:

Plan Review shall begin within two weeks from the time the application is received. The plan review process cannot proceed until the Check Sheet generated by the Plans Examiner is sent out to the Applicant or Applicant's Representative and is completed and returned to the Plans Examiner for Review. If the returned Check Sheet is incomplete or generates additional requests for information, a return check sheet shall be sent out again by the Plans Examiner. If the requested items and/or information are incomplete or are not received, the permit file will be put on hold until applicable required items are completed, correctly submitted and included in the permit file. Once the file is complete the permit may be approved by the Plans Examiner and sent to the County Office for issuance. The Land Development Services Permit Tech shall notify the Applicant when the permit is ready to be issued. The application shall be expired if the applicant fails to provide the required information within 180 days.

_____ **Applicant signature** _____ **Date** _____

Permit application acceptance date: _____

Received by Plans Examiner: _____

Plan check fee to be collected with plans submittal: \$ _____

Building Permit Application # _____

EXHIBIT "E"

**COLUMBIA COUNTY
LAND DEVELOPMENT SERVICES**

COURTHOUSE
ST. HELENS, OREGON 97051
PHONE (503) 397-1501

CODE SUMMARY REQUIREMENTS

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NOTE: Columbia County Building Services requires all commercial building plans to contain a code summary section that details how Fire, Life-Safety and other listed code requirements are being complied with. This code summary is intended to be an integral part of the plans and those specific pages shall be designated as CS (Code Summary) sheets or FLS(Fire and Life-Safety) sheets.

SECTION I - GOVERNING CODES

1. List all **applicable codes and standards** used. (Provide edition dates). 2010 OSSC, OMSC, OSPC,, OSEC, OSSC Standard 9-1, etc.

SECTION II - BUILDING "CONSTRUCTION" DATA

1. List the **type of construction**. List all types if more than one is used in the building design.
2. List the proposed building's **height**.
3. List the **maximum allowable height** under the County Development Code and the OSSC.
4. List the proposed building's **number of stories**.
5. List the **maximum number of stories** allowed under the County Development Code and the OSSC.
6. Indicate whether there is a **basement** or there is **no basement**.
7. List the **floor area for each floor**.
8. List the total **floor area of the building**.
9. List the **minimum required setbacks** to property line.
10. List the **minimum fire resistivity required for structural elements** adjacent to the property line. If less than the minimum indicated in the OSSC Table 602, provide the code section(s) that allow the reduction.
11. List the **opening protection required in structural elements** adjacent to the property line. If less than the minimum indicated in the OSSC Table 705.8, provide the code section(s) that allow the reduction.

SECTION III - BUILDING "OCCUPANCY" DATA

1. List the **occupancy classification group(s) in the building**. List all the different groups if more than one group is to occupy the building.
2. List the **occupancy classification group(s) floor by floor**.
3. List the **occupancy classification groups in each room or area**.
4. List the **total occupant load floor by floor**.
5. List the **occupant load for each area or room on each floor**.

6. List the total **occupant load for each different occupancy group.**

SECTION IV - BUILDING AREA DATA "ACTUAL" AND "ALLOWABLE"

1. If there is more than one occupancy group in the building provide analysis per Section 506.4.1.
2. List the proposed buildings **actual area.**
3. List the proposed buildings **base allowable area.**
4. Identify values for all variables used in equations 5-1 and 5-2 of Sections 506.1 and 2.
5. List the **maximum allowable base area using equations 5-1 and 5-2 of Sections 506.1 and 2.** (Show the calculations)
6. List the **actual area of the proposed building using frontage increase.** (Show the calculations)
7. If the building is fully sprinkled, list the **maximum allowable base area using Section 506.3 and sprinklers.** (Show the calculations).
8. If the building is more than one story list the proposed building's **allowable area based on the maximum area of the building with more than one story above grade plane per Section 506.4** (Show the calculations).
9. If there are no frontage increases and if the building is fully sprinkled, list the **maximum allowable area using sprinklers alone per Section 506.3.** (Show the calculations).
10. If there are no frontage increases and if the building is fully sprinkled, list the proposed building's **actual area using sprinklers alone.** (Show the calculations).

SECTION V - "FIRE RESISTIVE" BUILDING ELEMENTS

1. List the **fire resistive rating for the proposed building's individual structural elements** based on Table 601 in the OSSC. If any of the proposed building's structural elements have a lower fire resistivity than the minimum indicated in the OSSC Table 602, provide the code section(s) that allow the reduction.
2. List the **fire resistive rating of all occupancy separations (Fire Barriers)** horizontal and vertical
3. List the proposed building's **actual area of openings** in each occupancy separation.
4. List the maximum **allowable area of openings** in each occupancy separation.
5. List the **fire resistive rating of the opening protection** required for each occupancy separation.
6. List the **fire resistive rating of all area separation walls (Fire Walls).**
7. List the proposed building's **actual area of openings** in each area separation.
8. List the maximum **allowable area of openings** in each area separation.
9. List the **fire resistive rating of the opening protection** required for each area separation.
10. List all **other rated assemblies and the rating of each.**

SECTION VI - BUILDING "EXITING"

1. List the number of **exits required in each room or area.**
2. List the number of **exits provided** in each room or area.
3. List the number of **exits required on a floor by floor** basis.
4. List the number of **exits provided on a floor by floor** basis.
5. List the minimum **exit width required per exit on a floor by floor** basis.
6. List the **exit width provided for each exit on a floor by floor** basis.
7. If the proposed building has a corridor(s), list the **minimum corridor exit width**

- required.**
8. If the proposed building has a corridor(s), list the **minimum corridor exit width provided.**
 9. Provide an **emergency exit illumination** plan to meet requirements of OSSC Section (1006.3). The plan shall include a floor plan (including moveable furniture) depicting the emergency exit path, including minimum exit path width.
 10. Provide an **exit sign layout plan** that meets the requirements of the OSSC Section (1011 and Section 1109.15.1.

SECTION VII - BUILDING "FIRE DETECTION AND SUPPRESSION"

1. Indicate whether or not a **smoke detection or fire alarm system is required.**
2. Indicate whether or not a **smoke detection or fire alarm system is provided.**
3. If a smoke detection or fire alarm system is provided, list **the areas in the building where it is provided.**
4. List the **type of smoke detection or fire alarm system** provided.
5. Indicate whether or not a **sprinkler system is required.**
6. Indicate whether or not a **sprinkler system is provided.**
7. If a sprinkler system is provided, list the **areas in the building where it is provided.**
8. List the **type of sprinkler system** provided.
9. Indicate whether or not a **standpipe system is required.**
10. Indicate whether or not a **standpipe system is provided.**
11. If a standpipe system is provided, list the **area in the building where it is provided.**
12. List the **class of standpipe system** provided.
13. List the number of **fire department vehicular accesses** provided to the site.
14. On the FLS or Code Summary plans, provide a plan view of all fire extinguishers (FE). (If they are not required by the fire code, state so in the code summary.) Provide all pertinent FE information such as type and size.

SECTION VIII - OCCUPANCY VENTILATION REQUIREMENTS

1. Provide an **outside air / occupancy ventilation table** to meet the requirements of the OSSC Section 106.1 and Chapter 12 and OMSC Chapter 4. Required elements are occupancy classification and room use, area of room, exiting occupant load factor occupant load, required cfm of outside air per person or square foot, total outside air required per room, and amount of outside air provided per room.

SECTION IX - ENERGY CODE REQUIREMENTS

1. Provide Comb Check analysis per the 2010 Oregon Energy Efficiency Specialty Code. Examples would be; Chapter 4 (residential buildings), Prescriptive Envelope Requirements Tables 401.1(1) and Additional Measures 401.1(2) (state path), the 2010 Oregon Energy Efficiency Specialty Code Chapter 5 and Tables 502.2(1) and (2) for Opaque Assemblies.
2. Provide a **table that lists all of the building components and their associated R / U values** as established by the energy analysis.
3. Provide a **lighting layout that reflects the requirements established in the lighting budget.** Preferably, the emergency lighting plan requested in Section VI of this document will be incorporated into the lighting plan.

SECTION X - HAZARDOUS MATERIALS

1. Indicate whether there will be **hazardous chemicals and/or materials present, or a process that produce hazardous chemicals or materials** present within the building.
2. Indicate whether or not **Material Safety Data Sheets (MSDS)** accompany the building plans.
3. Indicate whether or not a **Hazardous Materials Management Plan (HMMP)** accompanies the building plans. Identify the HMMP author and state the author's credentials.

SECTION XI - ACCESSIBILITY

1. Identify on a site plan, the full extent of the **site's exterior route of travel** as prescribed in the OSSC Section 1103.
2. Identify on a floor plan, the full extent of the **building's interior route of travel** as prescribed in the OSSC Sections 1106, 1107, 1108, 1109, and 1110.

SECTION XII - PLUMBING FIXTURE COUNT REQUIREMENTS

1. Provide a **plumbing fixture count table** to meet the requirements of the OSSC Section 2902 and Table 29-A. Required elements are occupancy classification, plumbing occupant load factor, occupant load, the required number of water closets for each sex, the number of water closets provided for each sex, the required number of lavs for each sex, the number of lavs provided for each sex, the number of drinking fountains required, and the number of drinking fountains provided.

SECTION XIII - PROVIDE PLANS FOR AN ELECTRICAL PLAN REVIEW

1. A building has more than 10,000 square feet.
2. Ampacity:
 - a. Has more than 320 amperes continuous rating, metered through a self contained metering device for one and two family dwellings; or
 - b. More than 225 amperes for service and starting at 400 amperes for feeders for other than and two family dwellings;
 - c. Voltage is more than 600 volts.
3. A building has more than three stories.
4. There are four or more residential units in one structure, or occupancy rating of more than 99 persons.
5. Where any area or structure containing a special occupancy as described in Chapter 5 of the National Electrical Code adopted by the Electrical Board or by OAR 918-290-010.
6. Manufactured Structures Park or Recreational Vehicle Park. A new Manufactured structures park, a temporary manufactured structures park, or recreational vehicle park, or any addition or alteration to an existing park.

SECTION XIV -SOILS REPORTS AND FOUNDATION SUBMITTALS

1. Indicate whether or not a **soils report** is required.
2. Indicate whether or not a **engineered grading** will be done.
3. Indicate whether or not a **liquefaction study** is required.
4. Show topography with all **slopes** and their percentages of incline and decline, on topographical plot plans.
5. Show topography with all **cuts and fills** with their percentages of incline and decline, on topographical plot plans.
6. Indicate whether or not **foundation plans** are required to be engineered.
7. Indicate **setback** requirements from all existing slopes.
8. Building Official may require a geotechnical report if conditions require.

SECTION XV - SPECIAL INSPECTION, STRUCTURAL OBSERVATION AND DEFERRED SUBMITTALS

1. Indicate whether or not **special inspections** are required. If special inspections are required, specify the location of the "Special Inspection Information" block or matrix by indication the plan sheet number. The information block should be located on the first "S" sheet, if no "S" sheet then it should be located on the first "A" sheet.
2. Indicate whether or not **structural observation** is required. If structural observation is required, specify the location of the "Structural Observation Information" block or matrix by indication the plan sheet number. The information block should be located on the first "S" sheet, if no "S" sheet then it should be located on the first "A" sheet.
3. Indicate whether or not there will be any **deferred submittal items**. If there are to be deferred submittal items, specify the location of the "Deferred Submittal Information" block or matrix by indicating the plan sheet number. There should be separate information blocks for structural and miscellaneous (e.g. Type I and II hoods, site built stairways, owner installed equipment, awnings/marquees, etc.) deferred submittal items. The structural deferred submittal information block should be located on the first "S" sheet, if no "S" sheet then it should be located on the first "A" sheet. The miscellaneous deferred submittal information block should be located on the first "A" sheet.

SECTION XVI - ROOM SPECIFIC REQUIREMENTS

The following information is required on the Fire, Life-Safety floor plan sheet(s) in each room or area.

1. Specify the **use** of each room or area. (E.g. office, storage, sales, shop, etc.).
2. Specify the **occupancy group classification** for each room or area.
3. Specify the **floor area** of each room or area.
4. Specify the **occupant load** of each room or area.
5. Specify the **occupant load factor** used for each room or area.
6. Specify the number of **exits required** for each room area.
7. Specify the number of **exits provided** for each room or area.
8. Specify the longest **exit path** in each room or area.
9. Specify the longest **exit path** on each floor.

NOTE: The Fire, Life-Safety plans shall be used as basis for **all** fire alarm installation plans and all sprinkler installation plans.

SECTION XVII - SEISMIC ATTACHMENT OF EQUIPMENT:

1. Electrically powered Mechanical equipment not built into or attached to walls is required to have a permit for seismic attachment per Section 1613 of the '10 OSSC.
2. Piping equipment is required to have seismic attachment to foundation supports per Section 1613 of the '10 OSSC.
3. Design by a licensed registered professional is required for seismic attachment when the item weighs over 400 lbs. per the Building Official.

SECTION XVIII - PREMISE LOCATION - ADDRESS NUMBERS:

1. Buildings shall have approved address numbers, building numbers or approved building identification placed in a position that is plainly legible and visible from the street or road fronting the property. These numbers shall contrast with their background. Address numbers shall be Arabic numerals or alphabetical letters. Numbers shall be a minimum of 4 inches high with a minimum stroke width of 0.5 inch per Section 501.2 of the OSSC

* The County can fax plumbing information requirements.

EXHIBIT "F"

COLUMBIA COUNTY DEPARTMENT OF LAND DEVELOPMENT SERVICES

SPECIAL INSPECTION AND TESTING AGREEMENT

Project Identification; that is Permit Number, Address or Project Name: _____

In accordance with the 2014 Oregon Structural Specialty Code (OSSC), section 107.1, the Architect or Engineer of Record shall prepare and submit a special inspection and structural observation program. The Architect or Engineer of Record shall confirm that the special inspection and structural observations noted below are indicated on the approved plans. Major projects may require a more complete program.

The Architect or Engineer of Record shall complete Part B of this agreement, verify all non-jurisdictional acknowledgments, identify the specific project and forward this form to the building department prior to issuance of any building permits.

Per 2014 OSSC, sections 1703 & 1704, and the Oregon Building Officials (OBOA) Special Inspection Program, the Building Official will accept all special inspectors registered with the OBOA Special Inspection Program. Registration with OBOA must occur prior to performing any duties.

Special Inspectors shall comply with Section II and Section V of the OBOA Special Inspection Program and provisions of OSSC for specific duties and responsibilities. The Special Inspector shall observe and document the work for conformance with the building department approved plans and specifications and applicable workmanship in accordance with provisions of the OSSC.

The following special inspections, material testing and structural observations shall be performed according to the 2014 OSSC and the OBOA Special Inspection Program unless a separate program of inspections is submitted by the Engineer of Record and approved by the Building Official:

- ___ Anchors - Cast-in-place ___ Anchors - Expansion/Adhesive ___ Concrete ___ Fireproofing
___ High Strength Bolts ___ Masonry ___ Pier/Pile Foundation ___ Soils
___ Smoke Control ___ Steel ___ Welding ___ Wood
___ Special Cases

B. ___ Structural Observation by Engineer of Record. Indicate stages at which structural observation is to occur:

Prior to receiving final inspection, the Special Inspector or Inspection Agency AND the Engineer of Record shall submit a final summary report in accordance with the requirements of OSSC Chapter 17 to the Building Official. The summary shall include a statement that all items requiring special inspection, material testing or structural observation were fulfilled, reported and, to the best of his/her knowledge, in conformance with the building department approved plans, specifications, approved change orders and applicable workmanship provisions of the OSSC.

ACKNOWLEDGEMENTS: (I have read and agree to comply with the terms and conditions of this agreement)

Owner: _____ By: _____ Date: _____

Contractor: _____ By: _____ Date: _____

Category A (Testing / Inspection), Category B (Testing ONLY), Category C (Inspection ONLY)

OBOA (Circle One)
Registered Agency: _____ Category A B C By: _____ Date: _____

OBOA (Circle One)
Registered Agency: _____ Category A B C By: _____ Date: _____

Engineer/Architect
Of Record: _____ By: _____ Date: _____

ACCEPTED FOR THE BUILDING DIVISION:

By: _____ Date: _____ By: _____ Date: _____
Building Official Structural Plan Examiner